

Σ EASTWORKS

GATEWAY COURT • DALMARNOCK



Clyde Gateway has delivered interesting and innovative workspaces, comprising 5 new standalone office/ studios.

EastWorks is a cutting edge development which has completely transformed the disused Purifier Shed in Dalmarnock, Glasgow into high quality, contemporary space.

The exposed roof structure and columns are celebrated. A new steel structure supports mezzanine levels and provides open flexible floor space, all benefiting from stunning curtain wall glazing.

The impressive original rear brick façade has been retained and boasts original features such as decorative arches around the windows.

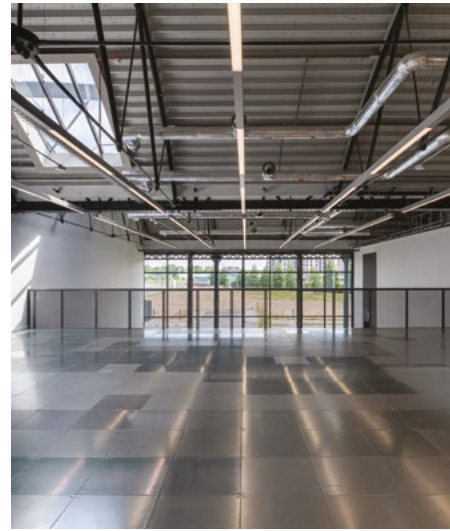
EASTWORKS

Est. 1843 - Now Re-envisioned →

Originally developed in the mid 1880's the building was finally closed in the 1950's. It lay vacant until it was supported by the Glasgow 2018 European Championships for young people to use the area for an Art Festival. Following this plans to comprehensively re-purpose the shed were prepared.

EASTWORKSGLASGOW.COM





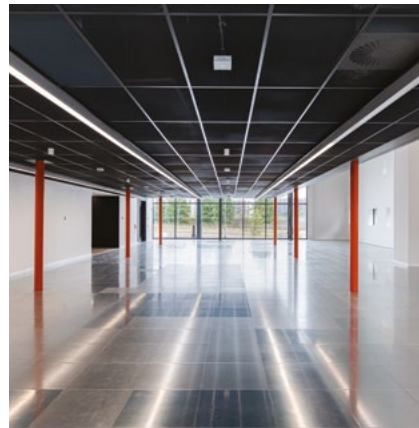
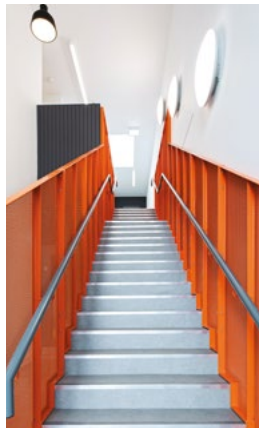
Wellbeing Provision

Dedicated modern accessible shower facilities, high quality changing areas, drying rooms with benches and hooks, lockers, WCs including accessible toilet located at both ground and mezzanine levels with high quality finishes.

- Service tails for future tea point/ kitchen installation
- 26 car spaces including 3 accessible spaces
- Electric car charging points
- External bench seating and soft landscaping for relaxation areas

Specification

- Fully glazed with new curtain walling
- Exposed roof structure showcasing the traditional double arch trusses
- 150mm metal raised access flooring
- High quality porcelain tiles
- Suspending ceiling system in office areas below the mezzanine
- Mezzanine clad with mesh balustrade
- LED strip lighting installed throughout in accordance with BCO and CIBSE guidelines
- Dimmable office lighting
- Heating and cooling via 4 pipe trench heaters located around the perimeter of the building and 4 pipe fan coil units located beneath the mezzanine floor
- Ventilation provides 12l/s of fresh air plus 10% based on an occupancy of 1 per 8 sq m



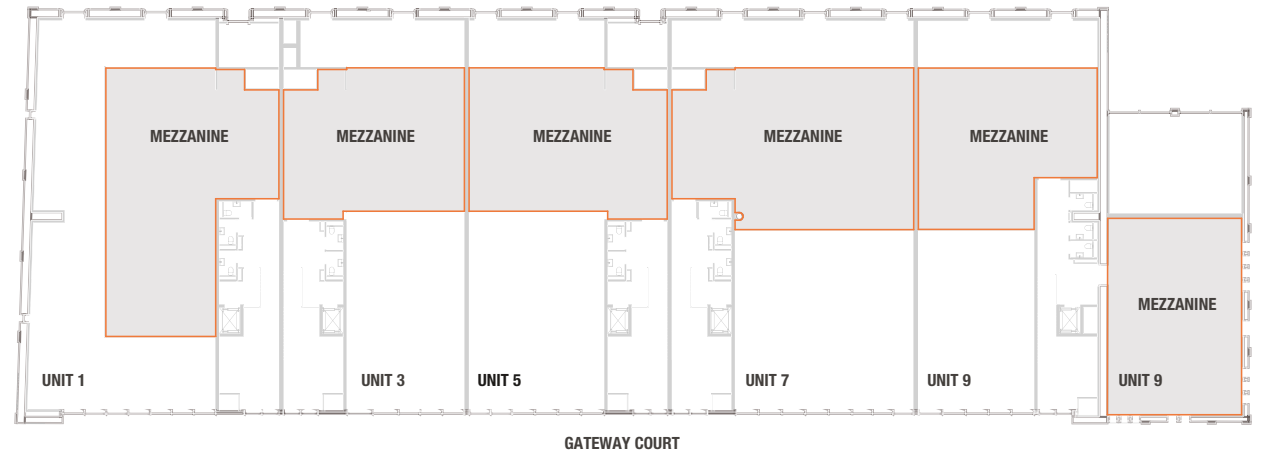
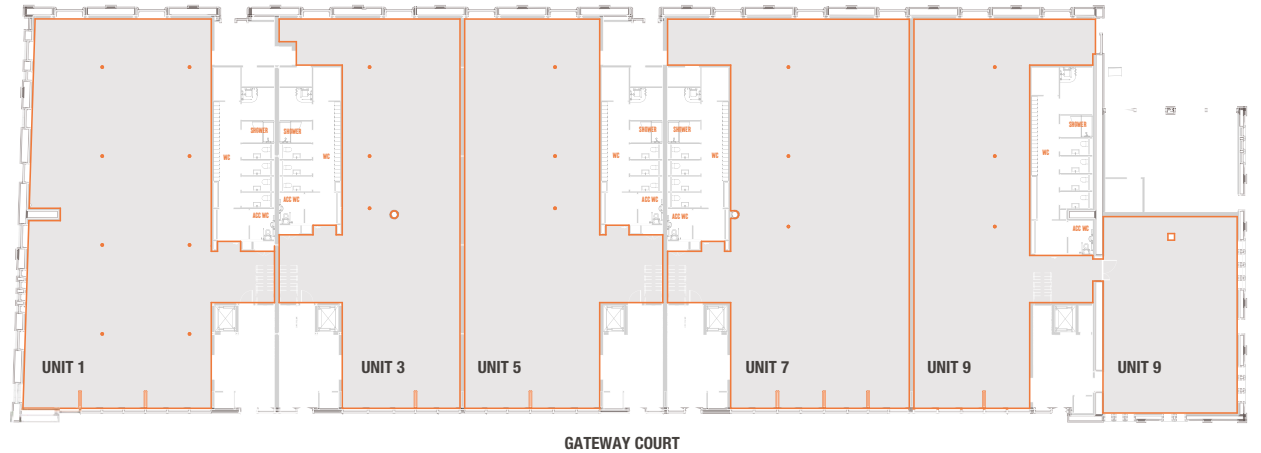
THE SPACE

GATEWAY COURT	FLOOR	SQ M	SQ FT	TOTAL
UNIT 1	LET			
UNIT 3	Ground	304	3,269	442 sq m - 4,755 sq ft
	Mezzanine	138	1,486	
UNIT 5	Ground	326	3,511	478 sq m - 5,146 sq ft
	Mezzanine	152	1,635	
UNIT 7	Ground	436	4,692	635 sq m - 6,834 sq ft
	Mezzanine	199	2,142	
UNIT 9	Red Tree @ EastWorks offers a range of highly flexible, cost effective occupational options including dedicated suites, business club membership and premium desk rental.			

EASTWORKS

EastWorks has been built with sustainability in mind.

It benefits from an innovative district heating system as an alternative to gas and to deliver important carbon reduction. The building has been awarded an impressive EPC A rating.



TRANSPORT



TAKE OFF

Glasgow International Airport 15 minute connection via Junction 1A M74



TAKE TO THE SADDLE

National Cycle Routes 75 and 756 on the doorstep



TAKE A WALK

EastWorks to Dalmarnock Station - 5 minutes



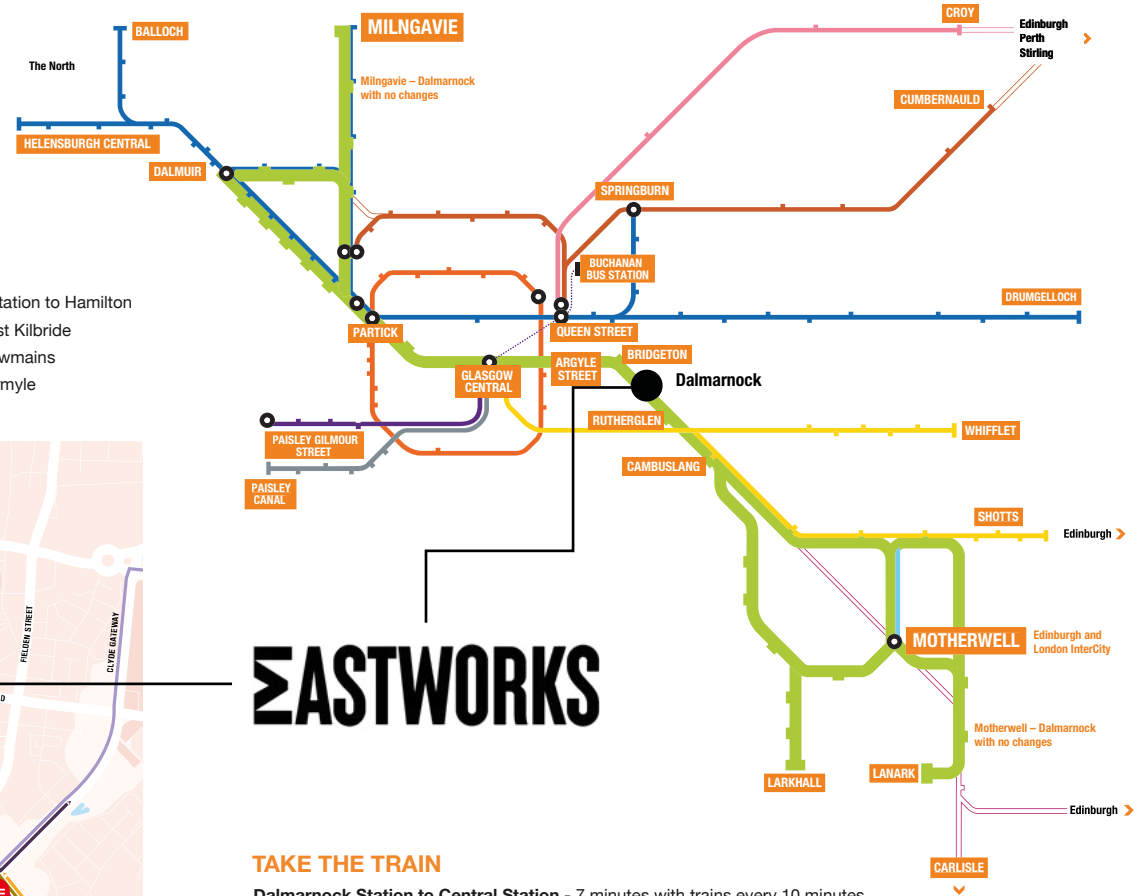
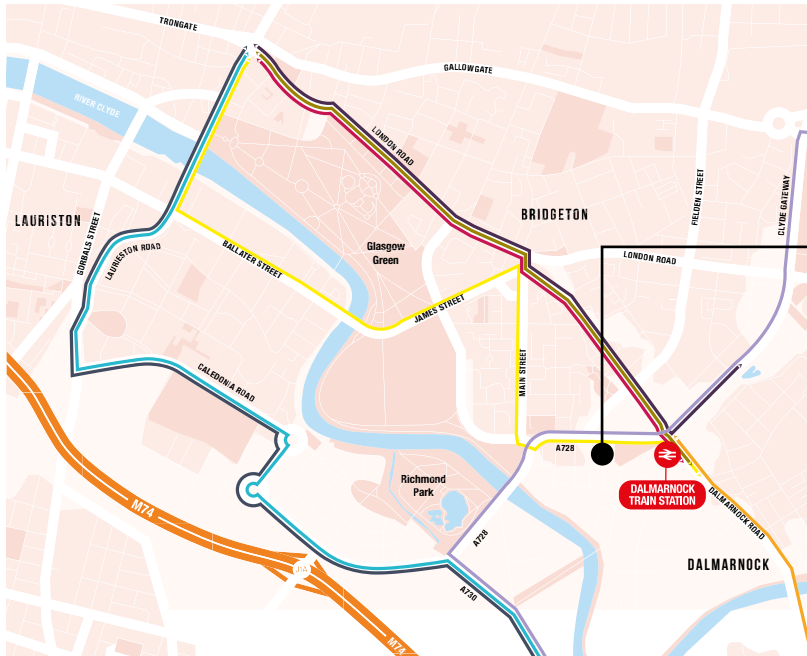
TAKE THE SCENIC ROUTE

On foot - EastWorks via Glasgow Green to the Merchant City - 20 minutes

TAKE THE BUS

Choose from multiple bus routes on the doorstep and further routes at Dalmarnock Station including the cost effective CG1 Clyde Gateway route serving the local area and linking to 4 railway stations.

- 18 City Centre to Greenhills, East Kilbride
- 46 Castlemilk to Easterhouse
- 64 City Centre to Carmyle
- 65 City Centre to Halfway, Cambuslang
- 263 Buchanan Bus Station to Hamilton
- 21 City Centre to East Kilbride
- 267 City Centre to Newmans
- CG1 Rutherglen to Carmyle



EASTWORKS

TAKE THE TRAIN

Dalmarnock Station to Central Station - 7 minutes with trains every 10 minutes.

Local Services from Dalmarnock

Rutherglen	2 minutes	Motherwell	28 minutes
Argyle Street	6 minutes	Paisley Gilmour Street*	29 minutes
Glasgow Central	7 minutes	Milngavie	32 minutes
SSE Hydro	13 minutes	Cumbernauld	47 minutes
Partick	17 minutes	Edinburgh Haymarket*	1 hour 13 minutes
Hamilton Central	19 minutes		
Whifflet	20 minutes		

* One change



THE AREA

The dynamic East End of Glasgow has experienced a renaissance in the last few years. This former industrial area has undergone a remarkable transformation. There are a number of high quality local amenities and transport links are second to none.

FOOD & DRINK

- 01 Barras Art and Design (BAaD)
- 02 Coia's Café
- 03 Drygate Brewery
- 04 St Luke's & The Winged Ox
- 05 The Jenny Burn Grill & Pizza
- 06 Starbucks, McDonalds, Greggs, Subway, KFC

LEISURE

- 07 Barrowland Ballroom
- 08 Cineworld
- 09 Citizens Theatre
- 10 The Barras Market
- 11 Merchant Square
- 12 Shawfield Greyhound Stadium

SHOPPING

- 13 Farmfoods
- 14 Forge Retail Park
- 15 Lidl (proposed)
- 16 Morrisons
- 17 Tesco Extra
- 18 The Forge Shopping Centre
- 19 Merchant City
- 20 Glasgow City Centre

HOUSING

- With 2,500 homes already completed and the potential for a further 6,000, a vibrant community is building and going from strength to strength.

SPORTS

- 21 Boxing Scotland High Performance Centre
- 22 Celtic Park
- 23 Crownpoint Sports Complex
- 24 Cuningar Loop (Bouldering)
- 25 Emirates Arena
- 26 Flip Out Trampoline Park
- 27 Glasgow Club Gorbals
- 28 Glasgow Green Football Club
- 29 Glasgow National Hockey Centre
- 30 Glasgow Rocks Club (Basketball)
- 31 Glasgow Rowing Club
- 32 Sir Chris Hoy Velodrome

PARKS

- 33 Cuningar Woodland Park
- 34 Glasgow Green
- 35 Richmond Park
- 36 Old Dalmarnock Park

TRANSPORT

- Train Line
- Clyde Gateway
- Phase 3
- National Cycle Route 75 / Clyde Walkway
- National Cycle Route 756



THE EVOLVING EAST

ΣEASTWORKS

Inspired by the legacy of the 2014 Commonwealth Games, this former industrial area has undergone a remarkable transformation. Major infrastructure projects including the M74 extension, new Dalmarnock train station and A728 Clyde Gateway route have paved the way for the area fast becoming home to a bustling and vibrant community.

- 1. West Brewery 2. Dalmarnock Station 3. Cuningar Loop
- 4. Barras Art and Design (BAaD) 5. Celtic Park 6. Glasgow Green
- 7. Commonwealth Games Athletes' Village 8. Sir Chris Hoy Velodrome
- 9. Tollcross International Swimming Centre

Mirroring the rebirth of London's East End, Glasgow's equivalent is fast becoming the place to be. With the former Commonwealth Games Athletes' Village comprising 700 houses and numerous other new residential developments completed and underway, more and more people are moving to the area, drawn by the excellent connectivity and the close proximity to Glasgow city centre. Riverside walks, beautiful parks – Cuningar, Richmond and Glasgow Green, along with the world class sporting facilities provided by the Emirates Arena, Sir Chris Hoy Velodrome and the Tollcross International Swimming Centre have also encouraged this influx of new residents.

Retail provision is first class with The Forge Shopping Centre and Retail Park serving the area, Rutherglen Main Street a short drive away and the outstanding shopping on offer in Glasgow city centre only one and a half miles to the west.

Recognising the opportunities and potential offered by the area, new bars and restaurants are springing up and the East End is fast becoming one of the City's most desirable locations to live and set up business.



FIND US: G40 4DS

SPEAK TO US.

Gillian Giles

e: gillian.giles@ryden.co.uk
m: 07826 946 312

Scott Farquarson

e: scott.farquarson@ryden.co.uk
m: 07384 543 094

Ryden.co.uk
0141 204 3838

Michael Facenna

e: michael.facenna@avisonyoung.com
m: 07983 994 050

**AVISON
YOUNG** 0141 300 8000
avisonyoung.co.uk

Ryden LLP / Avison Young give notice to anyone who may read these particulars as follows: 1. Particulars: These particulars are not an offer or contract, nor part of one. You should not rely on statements by Ryden LLP / Avison Young in the particulars or by word of mouth or in writing ("information") as being factually accurate about the property, its condition or its value. Neither Ryden LLP / Avison Young has any authority to make any representations about the property, and accordingly any information given is entirely without responsibility on the part of the agents, seller(s) or lessor(s). 2. Photos etc: The photographs show only certain parts of the property as they appeared at the time they were taken. Areas, measurements and distances given are approximate only. 3. Regulations etc: Any reference to alterations to, or use of, any part of the property does not mean that any necessary planning, building

regulations or other consent has been obtained. A buyer or lessee must find out by inspection or in other ways that these matters have been properly dealt with and that all information is correct. 4. VAT: The VAT position relating to the property may change without notice. The Money Laundering, Terrorist Financing and Transfer of Funds (Information on the Payer) Regulations 2017 requires the agents acting on both sides of any qualifying transaction to undertake appropriate due diligence in relation to, and in advance of, any such transaction, including identifying and verifying all relevant parties and establishing the source(s) and legitimacy of funding. Both parties will disclose all relevant information, prior to conclusion of missives/exchange, required to enable the agents to meet their respective obligations under the Regulations. October 2023.

g CLYDE GATEWAY
THIS IS THE PLACE

EASTWORKS

EASTWORKSGLASGOW.COM